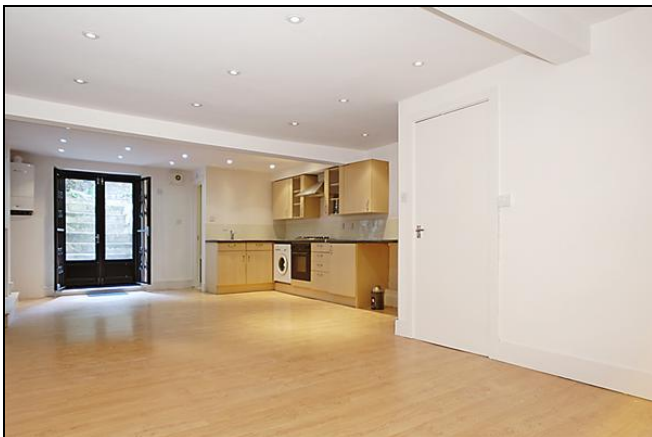
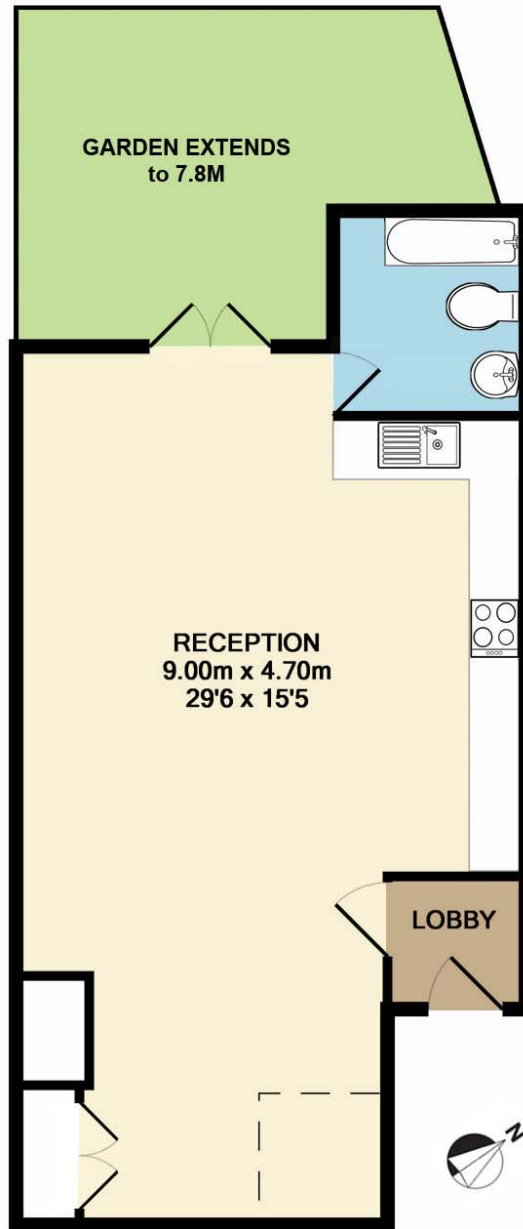


King Henrys Walk, Islington, N1



Boasting a private garden and stylish finishes, this charming studio flat benefits from a large reception room/ bedroom with modern open-plan kitchen. Situated on the lower ground floor, the period conversion is ideally located within easy reach of Canonbury or Dalston Kingsland/ Dalston Junction station. The vast array of shops and local amenities along Kingsland Road is only a short stroll away.

Price £200,000 Leasehold



King Henry's Walk, N1

Flat A - Lower Ground Floor

Gross Internal Area: approx. 447 sq ft (41.5 sq m)

KeyAGENT LTD Floor Plans are produced and provided for illustration purposes only. Whilst every attempt has been made to ensure the plan is accurate and presents the property in the best way, measurements of doors, windows and rooms are approximate and no responsibility is taken for any error, omission or mis-statement. To find out more about KeyAGENT please visit www.keyagent.co.uk (Tel: 0845 475 4165)

Made with Metropix ©2010



Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92-100) A			
(81-91) B			
(69-80) C		73	75
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92-100) A			
(81-91) B			
(69-80) C		69	71
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	

Important Notice: 1. These particulars are prepared for guidance purposes only. They are intended to give a fair overall description of the property but are not intended to constitute any part of an offer or contract. 2. Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or otherwise nor that any services, appliances, equipment, or facilities are in good working order. 3. Whilst all information contained in these particulars whether in the text, plans or photographs is given in good faith, intending purchasers must make their own enquiries as to the accuracy of all matters upon which they intend to rely.

Duke & Herzog Ltd. Registered in England No 6612897. Registered Office: 159 Fortess Road, London NW5 2HR. VAT No 933 6637 06. **Duke & Herzog**